

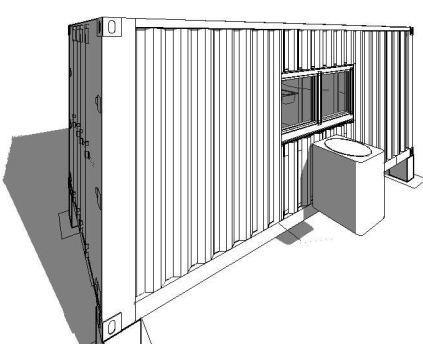
CONTAINER HOUSE

ISSUED FOR: _____ DATE: 07/18/2017

- 1
- 2
- 3

COVER SHEET
GO.00

PROJECT NO. _____ 17029

<p>PROJECT INFORMATION</p> <p>LOCATION ADDRESS: CA BLOCK/LOT: X HEIGHT/BULK DISTRICT: X</p> <p>BUILDING DESCRIPTION</p> <table border="0"> <tr> <td></td> <td><i>EXISTING</i></td> <td><i>PROPOSED</i></td> </tr> <tr> <td>ZONING:</td> <td>X</td> <td>NO CHANGE</td> </tr> <tr> <td>OCCUPANCY GROUP:</td> <td>X</td> <td>NO CHANGE</td> </tr> <tr> <td>CONSTRUCTION TYPE:</td> <td>X</td> <td>NO CHANGE</td> </tr> <tr> <td>NUMBER OF STORIES:</td> <td>X</td> <td>NO CHANGE</td> </tr> <tr> <td>LOT SIZE:</td> <td>X SF</td> <td>NO CHANGE</td> </tr> <tr> <td>SUITE AREA:</td> <td>160 SF</td> <td>NO CHANGE</td> </tr> <tr> <td>PARKING:</td> <td>STREET PARKING</td> <td>NO CHANGE</td> </tr> </table> <p>REFERENCED CODES ALL CONSTRUCTION TO COMPLY WITH LOCAL CODES AND ORDINANCES CURRENTLY IN USE WITH LOCAL JURISDICTION AND THE FOLLOWING CODE EDITIONS: A. CALIFORNIA HOUSES PLANNING CODE B. 2016 CALIFORNIA RESIDENTIAL CODE C. 2016 CALIFORNIA MECHANICAL CODE D. 2016 CALIFORNIA PLUMBING CODE E. 2016 CALIFORNIA ELECTRICAL CODE F. 2016 CALIFORNIA ENERGY CODE G. 2016 CALIFORNIA FIRE CODE</p>		<i>EXISTING</i>	<i>PROPOSED</i>	ZONING:	X	NO CHANGE	OCCUPANCY GROUP:	X	NO CHANGE	CONSTRUCTION TYPE:	X	NO CHANGE	NUMBER OF STORIES:	X	NO CHANGE	LOT SIZE:	X SF	NO CHANGE	SUITE AREA:	160 SF	NO CHANGE	PARKING:	STREET PARKING	NO CHANGE	<p>DEFERRED SUBMITTALS</p>	<p>PROJECT DIRECTORY</p> <p>CLIENT:</p> <p>ARCHITECT: BENJAMIN J PACKARD 1566 GLENCREST DR. SAN MARCOS, CA 92078</p> <p>CONTRACTOR: TBD</p> <p>MANUFACTURER: BOXOUSE INCORPORATED</p> <p>MODEL: BOXOUSE 0001 DESIGN LIVE LOAD ROOF 300 PSF DESIGN WIND LOAD 180 MPH</p> <p>SEISMIC ZONE 4 EXPOSURE D</p>
	<i>EXISTING</i>	<i>PROPOSED</i>																								
ZONING:	X	NO CHANGE																								
OCCUPANCY GROUP:	X	NO CHANGE																								
CONSTRUCTION TYPE:	X	NO CHANGE																								
NUMBER OF STORIES:	X	NO CHANGE																								
LOT SIZE:	X SF	NO CHANGE																								
SUITE AREA:	160 SF	NO CHANGE																								
PARKING:	STREET PARKING	NO CHANGE																								
<p>SYMBOLS</p> <p>⎓ ———— PROPERTY LINE</p> <p>⎓ ———— CENTER LINE</p> <p>----- MATCH LINE</p> <p>① A ———— COLUMN GRID</p> <p>① A1.01 ———— EXTERIOR ELEVATION</p> <p>① A1.01 ———— SECTION</p> <p>A ① A1.01 B ———— INTERIOR ELEVATION</p> <p>① SIM A1.01 ———— DETAIL REGION CALLOUT</p> <p>100A ———— DOOR TAG</p> <p>100A ———— WINDOW/STOREFRONT TAG</p> <p>MAT-3 ———— MATERIAL TAG</p> <p>EQ-1 ———— EQ-EQUIPMENT, FN-FURNITURE, PL-PLUMBING/MW-</p> <p>← 20 ———— KEYNOTE TAG</p> <p>⊕ ———— PARTITION TYPE TAG</p> <p>ALIGN ———— ALIGN TAG</p> <p>10'-0" A.F.F. GYP. CEILING, TYP. ———— CONTROL OR DATUM POINT</p> <p>△ 1 ———— REVISION AND DELTA</p>	<p>SITE PLAN</p> <p>FACTORY-BUILT HOUSING UNITS CONSISTING OF ONE STORY 160 SQ FT</p> <p>NORTH</p>	<p>VICINITY MAP</p> <p>SITE LOCATION</p> <p>NORTH</p>																								
<p>3D VIEW</p> 																										

GENERAL NOTES

DEFINITIONS

- "ARCHITECT" OR "MANUFACTURER" MEANS BOXOUSE INCORPORATED.
- "LANDLORD" OR "BASE BUILDING OWNER" MEANS _____.
- "TENANT" OR "OWNER" MEANS _____.
- "FURNISH" MEANS SUPPLY ONLY, FOR OTHERS TO PUT IN PLACE.
- "INSTALL" MEANS SUPPLIED BY OTHERS, TO BE INSTALLED BY CONTRACTOR.
- "PROVIDE" MEANS FURNISH AND INSTALL, COMPLETE AND IN PLACE.
- "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR CONDITIONS NOTED. CONTRACTOR TO VERIFY DIMENSIONS AND ORIENTATION.
- "TYPICAL" MEANS IDENTICAL FOR CONDITIONS NOTED.

GENERAL CONDITIONS

- CONTRACTOR & MANUFACTURER SHALL COMPLY WITH ALL BASE BUILDING REQUIREMENTS AND DESIGN CRITERIA.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. CLARIFICATIONS REGARDING ANY CONFLICTS SHALL BE ACHIEVED PRIOR TO RELATED WORK BEING STARTED.
- EXERCISE EXTREME CARE AND PRECAUTION DURING CONSTRUCTION OF THE WORK TO MINIMIZE DISTURBANCES TO ADJACENT STRUCTURES AND THEIR OCCUPANTS, PROPERTY, PUBLIC THOROUGHFARES, ETC. CONTRACTOR SHALL TAKE PRECAUTIONS AND BE RESPONSIBLE FOR THE SAFETY OF ALL BUILDING OCCUPANTS FROM CONSTRUCTION PROCEDURES.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND INSPECTION FEES REQUIRED TO COMPLETE THE PROJECT. ANY ERRORS, OMISSIONS, AND CONFLICTS FOUND IN THESE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.
- SUBSTITUTIONS, REVISIONS AND/OR CHANGES MUST HAVE PRIOR WRITTEN APPROVAL BY THE ARCHITECT. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. CURRENT UPDATED DRAWINGS WILL BE REVIEWED MONTHLY WITH THE PAY APPLICATION.
- UPON SUBSTANTIAL COMPLETION OF THIS WORK, CONTRACTOR SHALL NOTIFY THE ARCHITECT WHO WILL PREPARE A "PUNCH LIST" OF THE CORRECTIONS REQUIRED. FINAL ACCEPTANCE OF THE "PUNCH LIST" BY THE ARCHITECT SHALL BE CAUSE FOR FINAL PAYMENT UNDER TERMS OF THE OWNER-CONTRACTOR AGREEMENT, U.O.N.
- IN THE EVENT THAT "PUNCH LIST" ITEMS ARE NOT COMPLETED BY THE CONTRACTOR IN A TIMELY MANNER, THE OWNER RESERVES THE RIGHT TO SUBCONTRACT SUCH WORK DIRECTLY AND DEDUCT THE COST OF SUCH WORK FROM ANY FINAL PAYMENTS DUE TO THE CONTRACTOR.
- NO PART OF THE STRUCTURE SHALL BE OVERLOADED BEYOND ITS SAFE CARRYING CAPACITY BY THE PLACING OF MATERIALS, EQUIPMENT, TOOLS, MACHINERY OR ANY OTHER ITEMS.

GENERAL CONSTRUCTION

- PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL SURVEY ALL AREAS WHERE WORK IS SCHEDULED TO DETERMINE IF THERE ARE ANY EXISTING DEFECTS OR DAMAGE IN THE BUILDING. ANY NEW DAMAGE OCCURRING DURING CONSTRUCTION WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR TO THE BUILDING OWNERS SATISFACTION.
- CONTRACTOR SHALL PROTECT THE BUILDING AND GROUNDS FROM ANY DAMAGE RESULTING FROM THE WORK UNDER THIS CONTRACT. IF ANY DAMAGE DOES OCCUR, THE CONTRACTOR SHALL BEAR FULL FINANCIAL RESPONSIBILITY FOR ALL CORRECTIVE WORK.
- EACH TRADE SHALL EXAMINE THE PREMISES TO INSURE THAT CONDITIONS ARE APPROPRIATE FOR HIS WORK TO COMMENCE, PRIOR TO COMMENCING HIS WORK. AREAS NOT APPROPRIATE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. COMMENCING WORK IMPLIES ACCEPTANCE OF EXISTING CONDITIONS.
- ALL WASTE AND REFUSE CAUSED BY THIS WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF BY THE CONTRACTOR. THE PREMISES SHALL BE LEFT COMPLETELY CLEAR AND CLEAN TO THE SATISFACTION OF THE OWNER AND THE ARCHITECT. THIS SHALL INCLUDE THE CLEANINGS OF FABRICS, GLASS, STONE, MILLWORK, AND FLOOR COVERINGS.
- DETAILS ARE INTENDED TO SHOW THE METHOD AND MANNER OF ACCOMPLISHING THE WORK. IF MINOR MODIFICATIONS ARE REQUIRED TO SUIT JOB CONDITIONS OR DIMENSIONS, THEY SHALL BE INCLUDED AS PART OF THE WORK AT NO ADDITIONAL COST.

DIMENSIONS

- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. VERIFY DIMENSIONS WITH FIELD CONDITIONS. IF DISCREPANCIES ARE DISCOVERED BETWEEN FIELD CONDITIONS AND DRAWINGS OR BETWEEN INDIVIDUAL DRAWINGS, CONTACT THE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING.
- HORIZONTAL DIMENSIONS INDICATED ARE TO/FROM FINISHED FACE OF CONSTRUCTION, EXCEPT AS NOTED.
- VERTICAL DIMENSIONS ARE FROM TOP OF FLOOR SLAB, EXCEPT WHERE NOTED TO BE FROM ABOVE FINISHED FLOOR, (A.F.F.).
- DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF ARCHITECT UNLESS NOTED, EXCEPT AS NOTED.
- IN THE EVENT OF CONFLICT BETWEEN THAT SHOWN ON DRAWINGS AND DATA SHOWN IN THE SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN. DIMENSIONS NOTED ON DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DETAIL DRAWINGS TAKE PRECEDENCE OVER DRAWINGS OF SMALLER SCALE. SHOULD THE CONTRACTOR AT ANY TIME DISCOVER AN ERROR IN A DRAWING OR SPECIFICATIONS, OR A DISCREPANCY OR VARIATION BETWEEN DIMENSIONS ON DRAWINGS AND MEASUREMENTS AT SITE, OR LACK OF DIMENSIONS OR OTHER INFORMATION, HE/SHE SHALL REPORT AT ONCE TO THE ARCHITECT FOR CLARIFICATION AND SHALL NOT PROCEED WITH THE WORK AFFECTED UNTIL CLARIFICATION HAS BEEN MADE.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE DIMENSIONS AND ELEVATIONS AT THE SITE.
- ALL CLEAR DIMENSIONS ARE TO BE EXACT WITHIN 1/8" +/- ALONG THE FULL HEIGHT AND LENGTH OF THE WALLS.
- VERIFY INSERTS AND EMBEDDED ITEMS WITH ALL APPLICABLE DWGS. AND SPECIFICATIONS PRIOR TO POURING CONCRETE.

INSTALLATION

- THE UNIT IS BUILT OFF-SITE BY MANUFACTURER.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR INSTALLATION. INSTALLATION MAY INCLUDE CONNECTION OF UTILITIES, PLACEMENT OF UNIT ON A FOUNDATION, AND CONSTRUCTION OF A FOUNDATION.

SCHEDULE

- CONTRACTOR SHALL ORDER AND SCHEDULE DELIVERY OF MATERIALS IN AMPLE TIME TO AVOID DELAYS IN CONSTRUCTION. IF AN ITEM IS FOUND TO BE UNAVAILABLE, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY TO ALLOW ARCHITECT A REASONABLE AMOUNT OF TIME TO SELECT A REASONABLE SUBSTITUTE.
- THE CONTRACTOR SHALL PROVIDE A SCHEDULE FOR CONSTRUCTION AS REQUIRED TO MEET THE OWNER'S PHASING REQUIREMENTS AND ULTIMATE COMPLETION DATE.
- HOURS OF WORK SHALL BE COORDINATED WITH AND MUST BE APPROVED BY THE BUILDING OWNER. EXTRA CARE SHALL BE TAKEN TO CONTROL DUST AND NOISE AND MAINTAIN SAFE CONDITIONS FOR ALL PERSONS USING THE BUILDING INCLUDING THOSE WORKING ON THE JOB SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTING AND MAINTAINING ALL BARRICADES NECESSARY TO CONTROL DUST AND NOISE AND TO MAINTAIN A SAFE ENVIRONMENT.

CODES

- ALL WORK SHALL COMPLY WITH THE APPLICABLE CODES, AMENDMENTS, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC., THAT ARE REQUIRED BY ANY PUBLIC AUTHORITY HAVING JURISDICTION OVER THIS PROJECT. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL COMPLY.
- ABBREVIATIONS USED IN REFERRING TO STANDARDS THAT APPLY TO THE WORK INCLUDE, BUT ARE NOT NECESSARILY LIMITED TO, THE FOLLOWING:
 - AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM)
 - AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC)
 - AMERICAN WELDING SOCIETY (AWS)
 - AMERICAN CONCRETE INSTITUTE (ACI)
 - AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)
 - ARCHITECTURAL ALUMINUM MANUFACTURER'S ASSOCIATION (AAMA)
 - ALUMINUM ASSOCIATION, INC. (AA)
 - CONCRETE REINFORCING STEEL INSTITUTE (CRSI)
 - NATIONAL ASSOCIATION OF ARCHITECTURAL METAL MANUFACTURERS (NAAMM)
 - NATIONAL FIRE PROTECTION ASSOCIATION (NFPA)
 - NATIONAL WOODWORK MANUFACTURER'S ASSOCIATION (NWWA)
 - WOODWORK INSTITUTE OF CALIFORNIA (WIC)
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE REGULATIONS RELATED TO ENERGY CONSERVATION. CONTRACTOR SHALL PREPARE AND SUBMIT ALL REQUIRED CALCULATIONS AND FORMS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CODE VIOLATIONS OR INCORRECT CONSTRUCTIONS IN THE EXISTING CONSTRUCTION.

SAFETY NOTES

- THE CONTRACTOR SHALL FURNISH AND MAINTAIN IN SAFE OPERATING CONDITION ALL TOOLS, LADDERS, HOISTS, SCAFFOLDS, STAIRS, RAMPS, ETC. AT THE WORKPLACE. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING CONDITION, PROVIDE BARRICADES AT ALL FLOOR OPENINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING CERTAIN THAT ALL SUBCONTRACTORS WORKING AT THE JOB SITE FOLLOW THESE SAME REQUIREMENTS.
- ALL APPARATUS, TOOLS, AND EQUIPMENT USE ON THIS JOB SITE SHALL COMPLY WITH ALL APPLICABLE LAWS, RULES, AND REGULATIONS AS ESTABLISHED BY FEDERAL, STATE, AND LOCAL AUTHORITIES.
- POST ALL APPLICABLE RULES AS REQUIRED. ADVISE THE OWNER'S CONSTRUCTION ENGINEER/REPRESENTATIVE IMMEDIATELY OF ANY INJURY

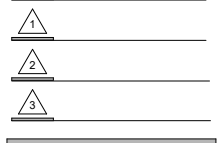
ENERGY NOTES

- ALL OPENABLE WINDOWS AND SLIDING DOORS SHALL LIMIT AIR LEAKAGE AND BE CERTIFIED AND LABELED TO COMPLY WITH ANSI STANDARD AIS4-2-1972.
- FIXED WINDOWS SHALL BE SEALED TO LIMIT AIR INFILTRATION.
- ALL EXTERIOR DOORS AND WINDOWS ARE TO BE WEATHERSTRIPPED.
- OPEN EXTERIOR JOINTS AROUND WINDOW AND DOOR FRAMES BETWEEN WALLS, FOUNDATIONS, ROOFS, PANELS, AND AT PENETRATION OF UTILITIES THRU THE ENVELOPE, SHALL BE SEALED, CAULKED, OR WEATHERSTRIPPED TO LIMIT AIR LEAKAGE.
- PROVIDE A "CERTIFICATE OF COMPLIANCE" SIGNED BY THE OWNER, G.C., ARCHITECT, OR ENGINEER TO THE BLDG. DEPARTMENT STATING THAT THE WORK HAS BEEN PERFORMED AND MATERIALS INSTALLED ACCORDING TO THE PLANS AND SPECIFICATIONS AFFECTING NON-RESIDENTIAL ENERGY.
- INSULATION SHALL BE INSTALLED TO MEET FLAME SPREAD AND SMOKE DENSITY REQUIREMENTS OF 5311 AND TITLE 24.

CONTAINER HOUSE

ISSUED FOR: _____ DATE: _____

07/18/2017



GENERAL NOTES

G0.01

PROJECT NO. 17029

CONTAINER HOUSE

FLOOR PLAN SHEET NOTES

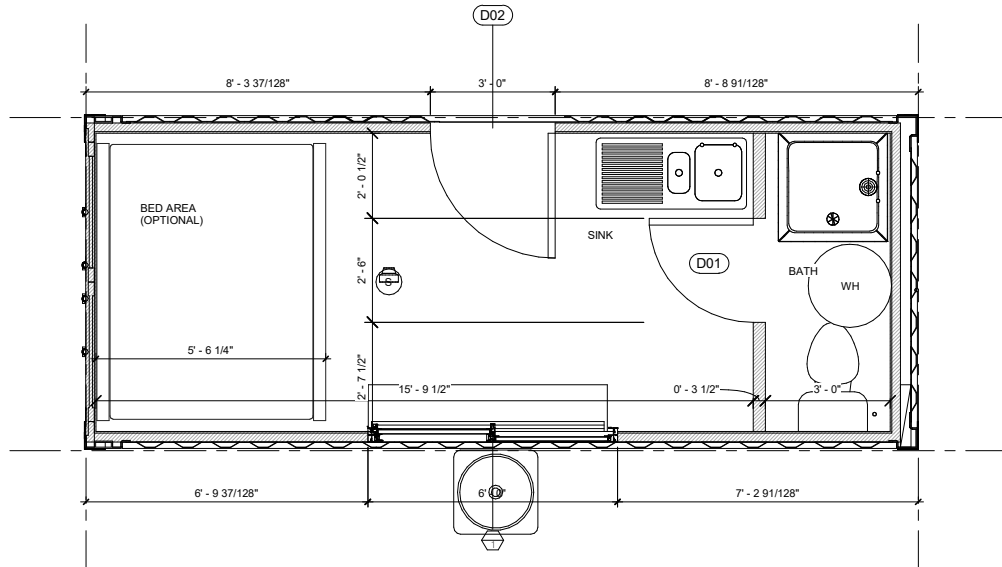
1. WHETHER OR NOT SPECIFICALLY REFERENCED IN THE PLANS, ALL PARTITIONS SHALL BE BRACED IN ACCORDANCE WITH SEISMIC CODE REQUIREMENTS.
2. COORDINATE AND INSTALL BACKING AS REQUIRED FOR ALL NEW MILLWORK, MARKERBOARDS, EQUIPMENT, FURNITURE, PROJECTION SCREENS, ETC.
3. ALL PARTITIONS ARE DIMENSIONED FROM FACE OF FINISH TO FACE OF FINISH, U.O.N.
4. PARTITIONS SHOWN TO ALIGN WITH FACE OF EXISTING CONSTRUCTION OR NEW PARTITIONS SHOULD ALIGN FINISHED FACE TO FINISHED FACE.
5. DIMENSIONS INDICATED TO BE "CLEAR" OR TO HOLD SHALL BE MAINTAINED AND DISCREPANCIES OR VARIATIONS ON THESE DIMENSIONS SHALL BE REVIEWED WITH ARCHITECT BEFORE BEGINNING CONSTRUCTION.
6. PREPARE ALL GYP. BD. WALL SURFACES TO RECEIVE PARTITIONS, AND WALL FINISHES.
7. PROVIDE SIGNAGE AS REQUIRED BY APPLICABLE CODES. SEE G2.01 FOR TYPES, LOCATIONS, AND TYPICAL MOUNTING HEIGHTS OF SIGNAGE.
8. FLOOR TOLERANCE: FINISHED FLOOR TO BE LEVELED TO A TOLERANCE OF 1/4" SLOPE IN 10 FEET.
9. MULTIPLE LIGHT SWITCHES TO BE GANGED WITHIN A SINGLE COVER-PLATE TO MAXIMUM EXTENT POSSIBLE. WHERE MULTIPLE SWITCHES CANNOT BE GANGED WITHIN A SINGLE COVER-PLATE, SWITCHES ARE TO BE ADJACENT TO EACH OTHER OR AS CLOSE AS POSSIBLE.
10. ALL FURRED WALLS SHALL EXTEND VERTICALLY THRU THE CEILING WHERE INDICATED ON THE DRAWINGS OR TO THE STRUCTURE ABOVE WHERE NO CEILING OCCURS. U.O.N.
11. HINGE SIDE OF DOORS TO BE LOCATED PER DETAILS FROM THE FACE OF ADJACENT PERPENDICULAR PARTITIONS, U.O.N.
12. ALL PARTITIONS, DOORS, GLAZED OPENINGS, SOFFITS, ETAL., SHALL BE STRUCTURALLY BRACED IN ACCORDANCE WITH SEISMIC CODE REQUIREMENTS.

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FLOOR PLAN
A2.00

PROJECT NO. 17029



1 FLOOR PLAN
SCALE 1/2" = 1'-0"

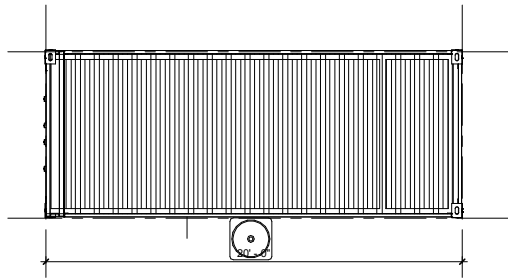
DOOR SCHEDULE					
MAR K	DOOR TYPE	WIDTH	HEIGHT	THICKNESS	COMMENTS
1	HINGED DOOR	2' - 6"	7' - 0"	2"	
2	HINGED DOOR	3' - 0"	7' - 0"	2"	

WINDOWS SCHEDULE						
MARK	COUNT	WIDTH	HEIGHT	DESCRIPTION	U VALUE	COMMENTS
1	1	6' - 0"	3' - 0"	SLIDING WINDOWS		

FINISH PLAN SHEET

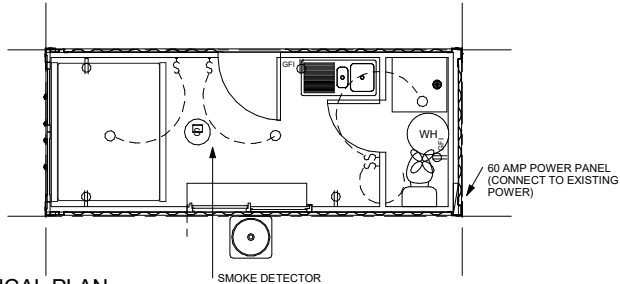
1. ALL GYPSUM BOARD CEILING TO BE PAINTED PNT-1, U.O.N.
2. TRANSITION OF FLOOR MATERIALS OCCURRING IN OPENINGS WITH DOORS TO BE LOCATED UNDER THE CENTER OF THE DOOR IN THE CLOSED POSITION. TRANSITION OF FLOOR MATERIAL OCCURRING WITH NO DOOR TO BE LOCATED TO ALIGN WITH THE FACE OF THE PARTITION, U.O.N.
3. DIFFUSERS AND GRILLES TO MATCH COLOR OF SURFACE AT WHICH THEY ARE MOUNTED, U.O.N.
4. FLOOR FINISH TO CONTINUE UNDER MILLWORK WHERE FLOOR IS VISIBLE (I.E. TRASH, RECYCLING, ETC.). CONFIRM LOCATION WITH MILL WORK DRAWINGS
5. SILICON SEALANT AT GLAZING TO BE CLEAR, U.O.N.
6. PLUMBING, ELECTRICAL, AND SPRINKLER EQUIPMENT, IF REQUIRED TO BE PAINTED TO MATCH COLOR OF ADJACENT SURFACE.
7. ALL FINISH MATERIALS MUST MEET ALL APPLICABLE FIRE, LIFE SAFETY, AND BUILDING CODES.

CONTAINER HOUSE

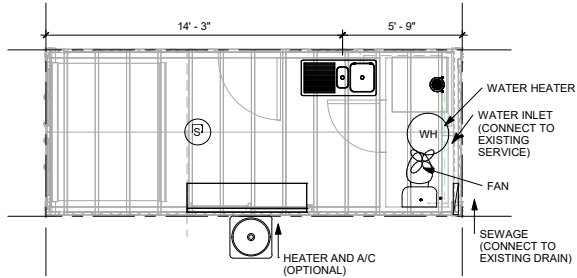


ROOF COATED WITH AN INDUSTRY-STANDARD ELASTOMERIC COATING CONFORMING TO CLASS G DRAINAGE TO BE INSTALLED ON-SITE, WITH GUTTERS AROUND ROOF CONNECTING TO EXISTING WASTEWATER DRAINAGE

1 TOP OF ROOF
SCALE 1/4" = 1'-0"



2 ELECTRICAL PLAN
SCALE 1/4" = 1'-0"



3 MECHANICAL PLAN - LEVEL 1
SCALE 1/4" = 1'-0"

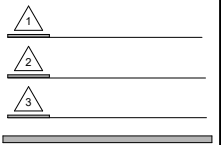
ELECTRICAL

1. THE MAIN ELECTRICAL PANEL SHALL BE GROUNDED w/ (MIN.) #4 CU GROUNDING ELECTRODE TO A UPER CONNECTION ON A 3/4" DIA. X 6' L. CU ROD. (ADDITIONAL CONNECTIONS OR GROUNDS MAY BE REQUIRED BY THE NEC.)
2. BOND WATER PIPES AND ABOVE GROUND METAL GAS PIPING TO THE SERVICE GROUND PER CEC250-104.
3. SMOKE DETECTORS SHALL BE PERMANENTLY WIRED ON A DEDICATED SEPARATE CIRCUIT WHICH SHALL BE EQUIPPED WITH A BATTERY BACK UP. APPROVED SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA AND ON EACH STORY OF THE DWELLING. SMOKE ALARMS SHALL BE LISTED AS COMPLYING UL 217 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 72 AND THE MANUFACTURER'S INSTRUCTIONS (CRC 314)
4. SPECIALLY CONFIGURED GROUNDED OUTLETS AND RECEPTACLES FOR DRYERS, OVENS, RANGES AND OTHER EQUIPMENT SHALL BE INSTALLED PER NEC REQUIREMENTS.

ELECTRICAL

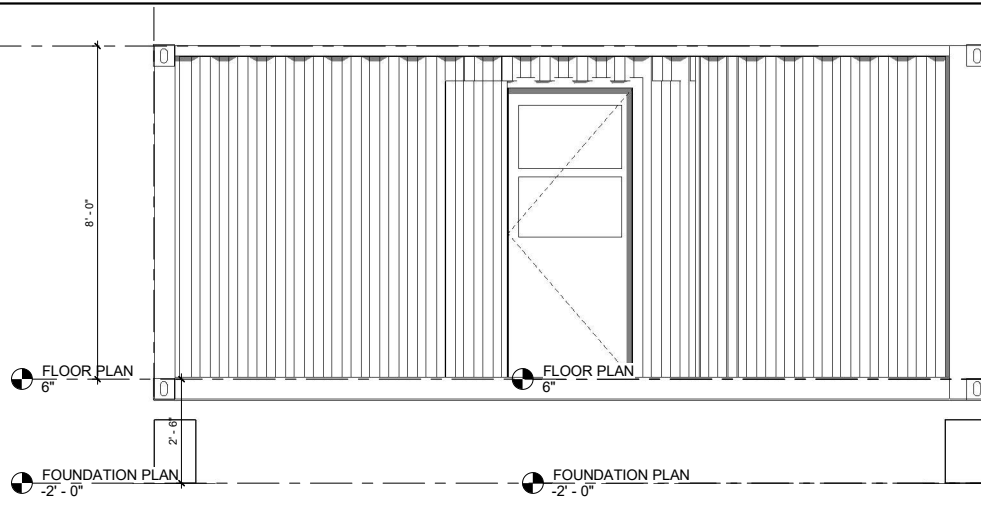
- ~ SWITCH
- ~ DIMMER SWITCH
- ⊕ SIMPLEX
- ⊕ DUPLEX
- ⊕ GFI GFI DUPLEX

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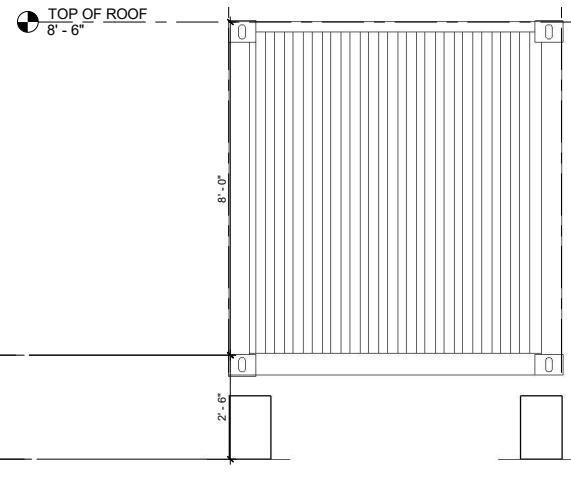


ROOF & RCP PLAN
A3.00

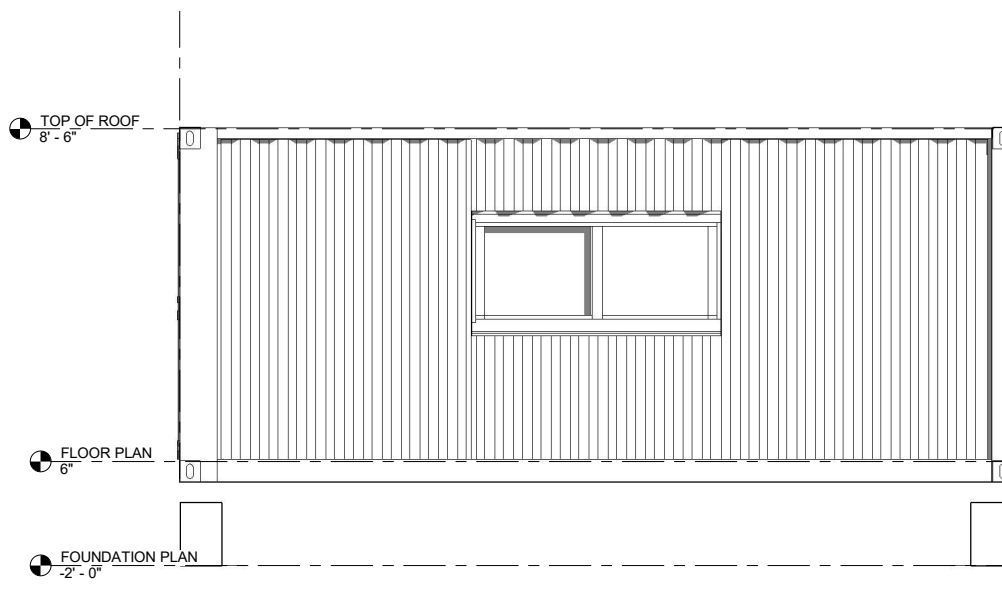
P OF ROOF
5"



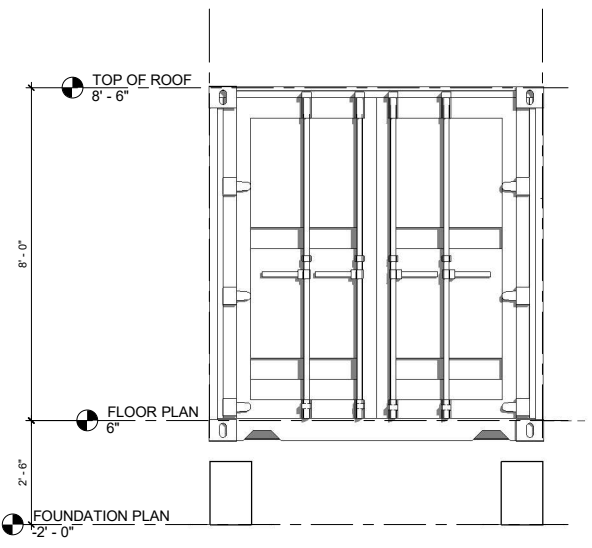
1 Elevation 1
SCALE 1/2" = 1'-0"



2 Elevation 2
SCALE 1/2" = 1'-0"



3 Elevation 3
SCALE 1/2" = 1'-0"



4 Elevation 4
SCALE 1/2" = 1'-0"

MINIMUM DISTANCE FROM WINDOW TO PROPERTY LINE IS 5 FEET

CONTAINER HOUSE

LUKE ISEMAN

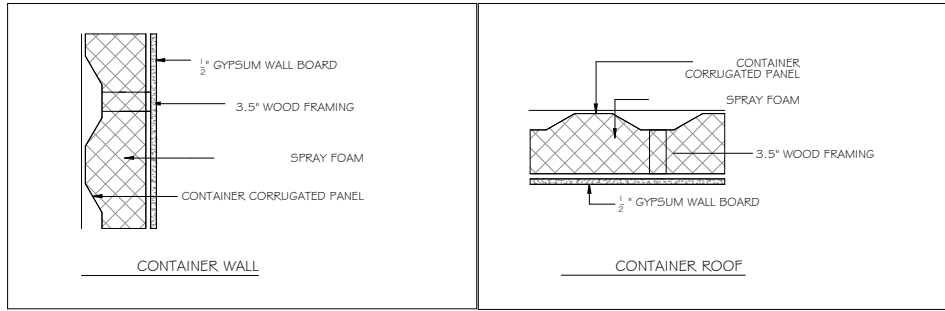
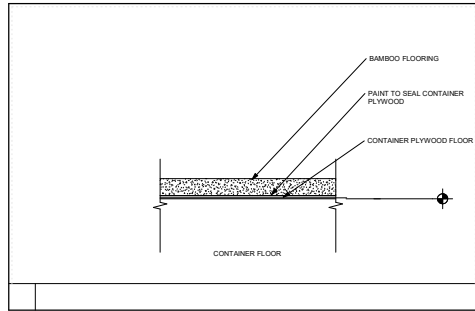
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- 3 _____

ELEVATIONS
A4.00

PROJECT NO. _____ 17029

CONTAINER HOUSE

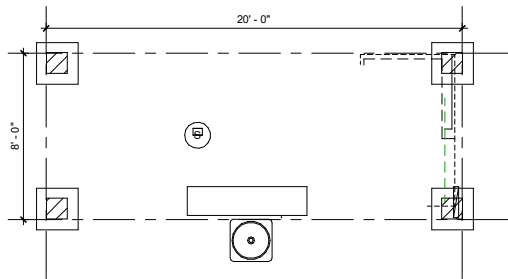


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	07/18/2017
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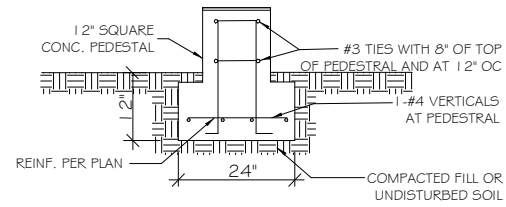
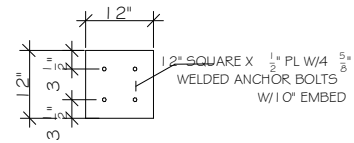
DETAILS - INTERIOR
A9.20

PROJECT NO. 17029

CONTAINER HOUSE



1 FOUNDATION PLAN
SCALE 1/4" = 1'-0"



2 FOUNDATION DETAIL
SCALE 1/2" = 1'-0"

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FOUNDATION
F1.0

PROJECT NO. _____ 17029